

LANGTOUN MALTINGS, KIRKCALDY DESIGN GUIDANCE

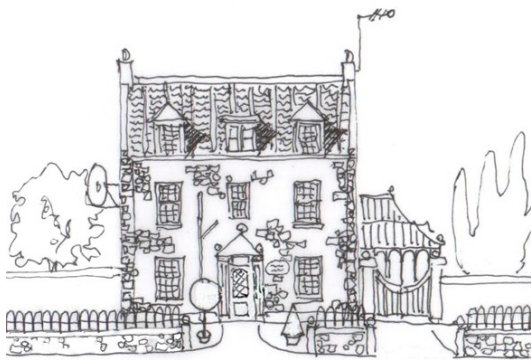
**Prepared by SCOTIA HOMES (SOUTH) LIMITED
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In conjunction with

**SCOTIA HOMES LIMITED, incorporated under the
Companies Acts (SC141011) and having their Registered
Office at Twenty-eight Broad Street, Peterhead AB42 1BY
the holding company of Scotia Homes (South) Limited
(both hereinafter referred to as “Scotia”)**



Before



After

Fig 1

1. The Legal and Management Framework

- 1.1 The purpose of this booklet is to draw attention to the obligations, which are presented by the Stipulations, incorporated into the contract of purchase (missives), Deed of Conditions and the Factors management agreement. It is intended to encourage “thought before action”. The detailed advice has been drawn from the Deed of Conditions, with illustrations indicating “do’s and don’ts”. The purpose is to help to ensure that the architectural harmony at the Langtoun Maltings development at Kirkcaldy is not disfigured by the type of insensitive alterations which have occurred elsewhere. The cartoon (Fig.1) shows what might happen in the absence of restraint and concern for the overall character.
- 1.2 Attention to detail within the overall guiding concept, has been the key to successful design and development at Langtoun Maltings. It is intended for this to become a successful example of a living and working community. The conclusion of each rental or sale agreement brings residents and/or proprietors into the equation. It also draws the attention of owners and tenants to the obligation to observe the conditions imposed by Scotia Homes not to alter or extend the exterior of a property without prior written approval. This Design Guidance and the Deed of Conditions bind all properties, and their owners and occupiers. They regulate the use and appearance at Langtoun Maltings. As and when new buildings are handed over, the new owners and/or tenants become bound by the conditions ensuring that they remain fully and effectively enforceable. Breaches of the Conditions could result in enforcement action and may prejudice the sale of individual properties.

- 1.3 The conditions are enforceable by:
- (a) the Management Factor;
 - (b) the owners of properties at Langtoun Maltings, Kirkcaldy and
 - (c) Scotia Homes (South) Ltd or the parent company Scotia Homes Ltd.

On completion of the development, it is intended that residents, through the Management Factor will become responsible for administration, and receiving and considering applications for consent to all matters requiring approval under the Conditions. Throughout the guide below, The Management Factor (or initially Scotia) is referred to as “the Regulator”.

- 1.4 Prior to the completion of the development, Scotia Homes have the right to vary the design and finish of the development in such manner as considered reasonable and appropriate. It is intended to carry out construction in accordance with this Design Guidance however if such variation is deemed reasonable and appropriate, Scotia Homes have permission to vary. Following completion of the development by Scotia Homes, all matters requiring approval require to be referred to the Management Factor.
- 1.5 The Management Factor is inter alia responsible for providing services to maintain the communal land, which includes all areas not adopted by the Local Authority.
- 1.6 Fife Council as the planning authority for Langtoun Maltings, Kirkcaldy have granted planning permission for the construction of the development, including every individual building and its use, and use of the land. All matters relating to the construction of buildings including the use of land constitute “development” and are brought under the statutory planning process. Any such work is also covered by the conditions and requires the prior consent of the Regulator.

2. From First Principles Extensions

- 2.1 Every house in Langtoun Maltings has been designed to provide accommodation which will meet the needs of householders. However, it is recognised that individual tastes vary, and that needs change over time, for example through addition to a family, retirement, or working from home. There may be a perception that more room is required. It may be possible to reorganise internal space, without affecting the exterior of the building. Occasionally, owners may conclude that an extension, or a loft conversion is the solution. There may also be applications to add for example conservatories to houses and to erect garden sheds.

- a. All proposals for external alterations, loft conversions, extensions, conservatories or garden sheds will require consent from Fife Council and the Regulator.

The close spacing of the buildings, compact gardens and overall design concept of Langtoun Maltings will strictly limit the scope for such work. In considering such applications, the impact on the integrity of the building concerned will be assessed, together with the effect on neighbouring properties, and the character and appearance of the surroundings, particularly where designed groups of buildings are involved.

- 2.2 Every property at Langtoun Maltings has been designed for the street where it is located. The continuity of frontage is continued by boundary walls to create an urban sense of enclosure.
- a. No front projecting extension, or enclosed porch will be allowed, unless they were part of the original design.
- 2.3 The terraced configuration of many of the properties will strictly limit the scope for side extensions. Rear extensions are the most likely to be contemplated, and to be found

acceptable. In cases where such extensions are allowed, they have to comply with the following principles:

- a. the extension is clearly perceived to be subservient to the original building, complementing, not competing with its presence in the street picture;
- b. the building frontage line is respected;
- c. the form, the materials and detailing **EITHER** match **OR** complement those of the existing building;
- d. the extension does not adversely affect the privacy or amenity of neighbouring properties.
- e. the visual impact of the extension from public spaces or parking courts must be substantially reduced by the rear boundary wall of the property, which may require heightening to achieve this (subject to the effect on neighbouring properties or the development).

2.4 Conservatories are widely marketed as extensions. The plain timber and glass greenhouse has been superseded by elaborate detailing, often in a pastiche Victorian style. While timber conservatories remain available, many are also constructed from UPVC, and can be found in "do it yourself" warehouses in kit form for self-construction. It is considered that there will be comparatively few properties where conservatories will be an acceptable form of extension. They will be subject to the same criteria of acceptability as extensions generally, and must be:

- a. of modest size in relation to the ground floor of the house;
- b. not unduly complex in plan, or elevation (tall conservatories with pent roofs are **NOT** acceptable);
- c. of simple design, with windows and other elements of good proportion, to compliment the existing house (elaborate Victorian reproductions are **NOT** acceptable);
- d. of timber and glass construction (polycarbonate may be approved for roofing, to reduce weight, at the discretion of Fife Council and the Regulator).

3. Building Materials and Details

3.1 Langtoun Maltings was designed to use high quality materials, and where reasonably practical the styling is to reflect the regional Scottish vernacular styles, allied to traditional constructional methods. Efforts are being made to achieve high standards to blend with those found in the historic towns and villages of the area, and to recapture delight in design. However, it is accepted that some materials, including timber, have not shown the lasting qualities found 100-200 years ago. When building work, including replacement and extension is under consideration, owners will be expected to:

- a. repair rather than replace original windows and doors;
- b. use matching materials for small extensions;
- c. build walls in matching brick, stone or rendering.

Langtoun Maltings contains numerous examples of simple design, enlivened by the attention given to the treatment of roof eaves, dormer windows, windows, doors and porches. Anyone contemplating work should study their own property, as well as the manner in which details and materials are handled in comparable situations elsewhere in the development. Due to the variety of treatments, the comments below may not cover all individual situations. All proposals are subject to the prior approval of Fife Council and the Regulator

4. Materials

a. Rendered dense concrete block. Rendered work should be drydash and avoid too hard and exact a finish. External corners should be formed in order by hand, and where reasonably practical not using metal stop beads.

Expansion joints at render and blockwork wherever reasonably possible should be “naturally” detailed with elevations (e.g. at changes in material types, behind rainwater downpipes and at steps in building lines etc).

External blockwork should be scratch-coated and drydash rendered with one of the following mixes i.e.,

“Tuscan/Snowcrete Drydash”

Scratch Coat is a 1-9 lime sand which is to be gauged on site at 1 part O.P. cement to 4 parts lime sand mix. A proprietary waterproofer is added to this coat.

Top Coat is a 1-9 lime sand which is to be gauged on site at 1 part Snowcrete to 4.5 parts lime sand mix and finished with Tuscan chip, thrown on with trowel, include for stainless steel beads at movement joints and smooth cement ingoes at all openings where required. A proprietary waterproofer is added to this coat.

“Tuscan/Tarmac OBM Drydash”

Scratch Coat is a 1-9 lime sand which is to be gauged on site at 1 part O.P. cement to 4 parts lime sand mix. A proprietary waterproofer is added to this coat.

Top Coat is a 1-9 lime sand which is to be gauged on site at 1 part Tarmac OBM Cement colour to 4.5 parts lime sand mix and finished with Tuscan chip, thrown on with trowel, include for stainless steel beads at movement joints and smooth cement ingoes at all openings where required. A proprietary waterproofer is added to this coat.

“Dolowhite/Snowcrete Drydash”

Scratch Coat is a 1-9 lime sand which is to be gauged on site at 1 part O.P. cement to 4 parts lime sand mix. A proprietary waterproofer is added to this coat.

Top Coat is a 1-9 lime sand which is to be gauged on site at 1 part Dolowhite Snowcrete to 4.5 parts lime sand mix and finished with Dolowhite chip, thrown on with trowel, include for stainless steel beads at movement joints and smooth cement ingoes at all openings where required. A proprietary waterproofer is added to this coat.

Boundary walls which are not exposed to public areas (i.e., mostly the face exposed to gardens) can be finished in smooth faced cement render with the following mix i.e.,

“Smooth Cement Render”

Scratch Coat is a 1-9 lime sand which is to be gauged on site at 1 part grey O.P. cement to 4 parts lime sand mix. A proprietary waterproofer is added to this coat.

Top Coat is a 1-9 lime sand which is to be gauged on site at 1 part grey O.P. cement to 4 parts lime sand mix and smooth sponge finish, include for stainless steel beads at movement joints where required. A proprietary waterproofer is added to this coat.

“K-Rend”

K-Rend Silicone WP through white coloured render, scraped texture finish, two coat system.

b. In cases where approval is granted for a paint finish to external walls it will be from the “KEIM” or equivalent range of environmentally friendly paints.

c. Rendered and painted external walls should have a synthetic stone plinth on the public face of the building.

5. Outbuildings

a. Outbuildings may be timber framed and clad with weather-boarding. Traditionally, however, the buildings of less important dwellings are frequently built of whatever comes to hand and may show a charming variety of materials. Proposals will be assessed on their effect on the context of the building to which they relate, and the overall group.

b. Weatherboard cladding should comprise feather-edged boards approximately 140 mm x 20/10 mm.

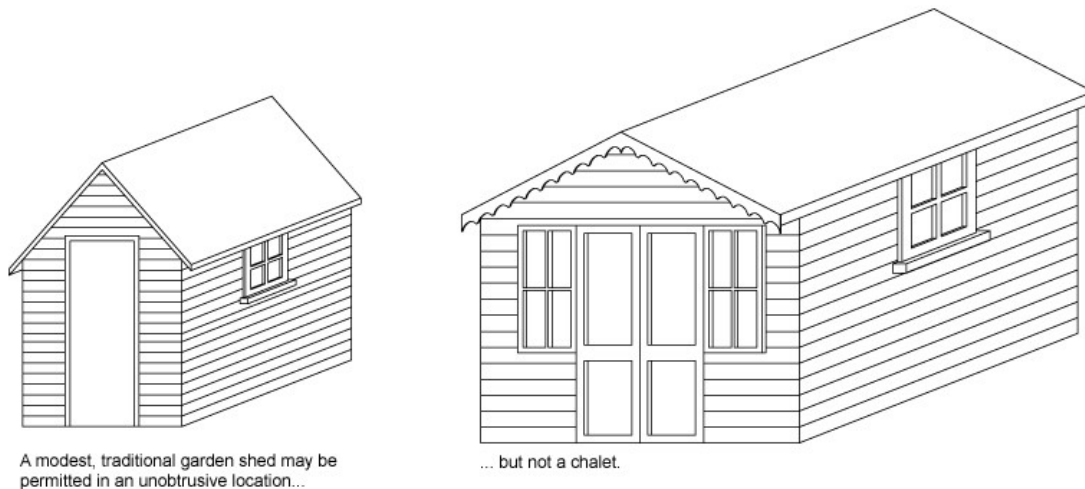


Fig 2

Generally, feather edged boarding should be sawn finished with a plain edge, or beaded on the lower edge of planed boards then all finished with Dulux Opaque Weathershield English Mist 3 (ral no. 10GY39136) or equivalent. Shiplap boarding will not be permitted.

c. Appropriate arrangements for parking and garaging in rear courtyards are provided at Langtoun Maltings. In most cases, additional garages would affect the overall design. Proposals for new garages or closing-in of open carports will **NOT** be permitted. Building garages or carports over hardstandings in gardens will be assessed for their impact on neighbouring properties and on the overall design of parking courtyards. Approval will also be conditional upon any buildings or structures meeting all relevant criteria for building form, materials and detailing. Prefabricated unit garages, flat-roofed plastic-sheeted timber or metal framed carports will **NOT** be allowed. Parking of caravans, boats or trailers, on **ANY** property, or in courtyards, is **NOT** allowed.

6. Roofs

6.1 The variety of roof shape, enhanced by sympathetic materials, with the design and detailing of eaves, verges, hips and gables, is an essential feature of the townscape at Langtoun Maltings. Alterations and extensions should add to this richness, and not obtrude with inappropriate detailing or materials.

a. Roofs should be simple and symmetrical, gabled, hipped, half-hipped or mansard. Abutting single storey roofs may be lean-to. Free-standing sheds, garages or outbuildings shall have

hipped or gabled roofs. There shall be no flat roofs except small lead clad valleys and so forth in complex roofs. Where appropriate, the use of dormers can add interest and character in the roofscape.

b. Roof coverings shall be Edgemere Duo tiles (by Marley) or Sandtoft Neo pantile (profiled) flanders colour or tiles of the same or similar appearance and quality to compliment i.e, natural slate (Spanish Slate Samaca Quarry 45), pantiles, etc. Prepatinated copper is also used as a roofing material within the approved design. Ridge vents are **NOT** permitted. Concrete plain tiles or interlocking tiles are only permitted where they match existing roofs. Correctly detailed lead flat roofs to dormers may be acceptable.

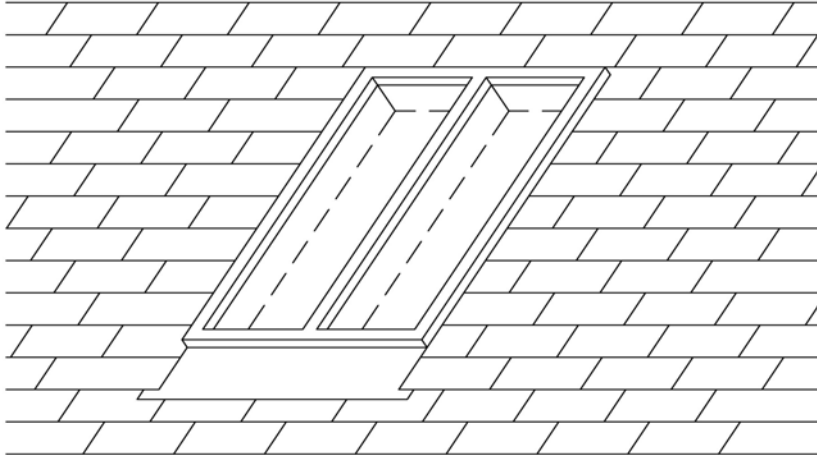
c. Roof pitches will vary according to the type of roof covering and will generally range from a minimum of 30 degrees up to 60 or 65 degrees.

d. Dormers should be carefully designed and built to suit the roof they sit within and the materials used. Needless bulkiness can be avoided by using lead on hips and ridges on hipped dormers. Dormers, unless they rise from the fabric of the main wall of the building, are invariably of timber construction.

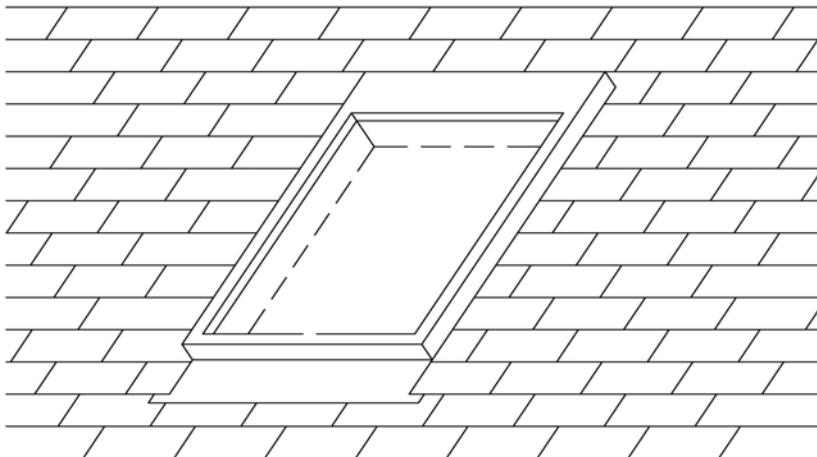
In considering whether dormers are acceptable, the degree of additional overlooking will be assessed by the Regulator.

7. Rooflights

- a. Rooflights may be acceptable in inconspicuous situations, but not normally on front or visually prominent roof slopes unless forming part of the initial design, particularly where they might disrupt a group or design, or create an unfortunate precedent.



A 'traditional pattern' rooflight fits snugly among the tile of surrounding roof. They may be permitted, depending on number and visual impact



A 'modern' pivot rooflight may be permitted, depending on number and visual impact

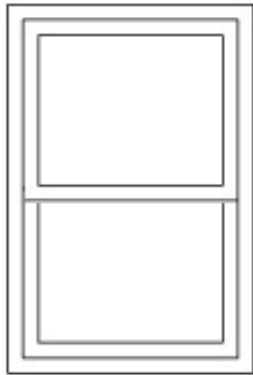
Fig 3

8. Rainwater Goods; Gutters and Plumbing

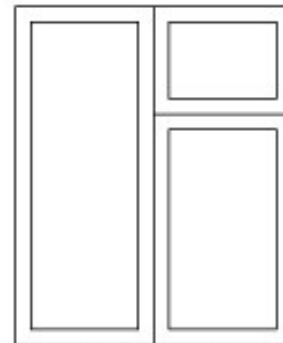
- a. Rainwater goods i.e., gutters and pipes should generally be self coloured Black or Grey or similarly coloured (or such other colour to blend with the building finish rather than contrast) UPVC. Where properties are extended or when such goods require renewal, encouragement will be given to use UPVC replacements. Gutters shall generally be half round or ogee profile.
- b. Flue terminals and extract ventilation terminals will not be permitted in walling on front elevations, or elevations facing public areas.
- c. Vent stacks should be terminated within the roof space by an air admittance valve wherever acceptable to Fife Council.

9. Windows

Windows have, appropriately, been characterised as the eyes of a building. Their size and shape, relationship of void to solid, their subdivision, including the pane size, and proportion, related to glazing beads, is critical to the success of the overall design and appearance of the building. There will be a presumption in favour of repairing rather than replacing existing windows. If replacement is necessary, then a replica of the existing window will be required. The replacement of even a single window, by an unsuitable type, could mar an entire group or street picture. Where extensions are involved, the windows should match, or be in harmony with the existing, particularly when publicly visible.



Timber sash and case windows are acceptable



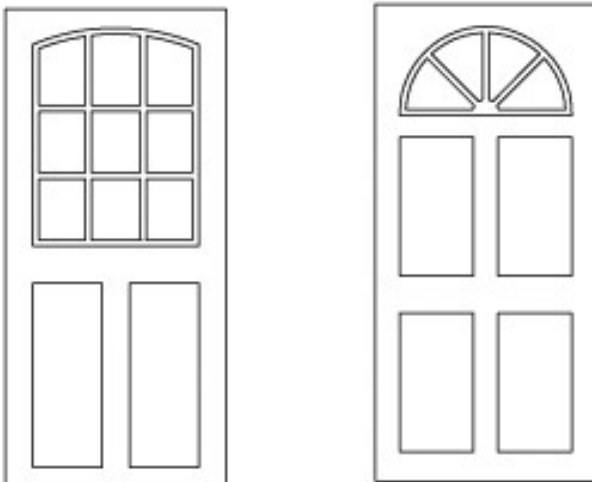
Poorly designed mass produced and 'picture' windows are **NOT** acceptable

Fig 4

- a. In new extensions, alterations, or when replacing windows white painted or stained timber must be used.
- b. Windows shall be built entirely of timber and painted.
- c. Windows shall be sash and case or tilt and turn to match existing type. Outward opening casements may be used on the ground floor only if, when fully opened, the window remains within the curtilage of the property.
- d. Windows to bathrooms should **NOT** normally face the street. Patterned reproduction leaded windows, plain or with coloured glass, will **NOT** be permitted.
- e. Window and door reveals should be a minimum 100 mm.
- f. Windows shall generally be painted white.

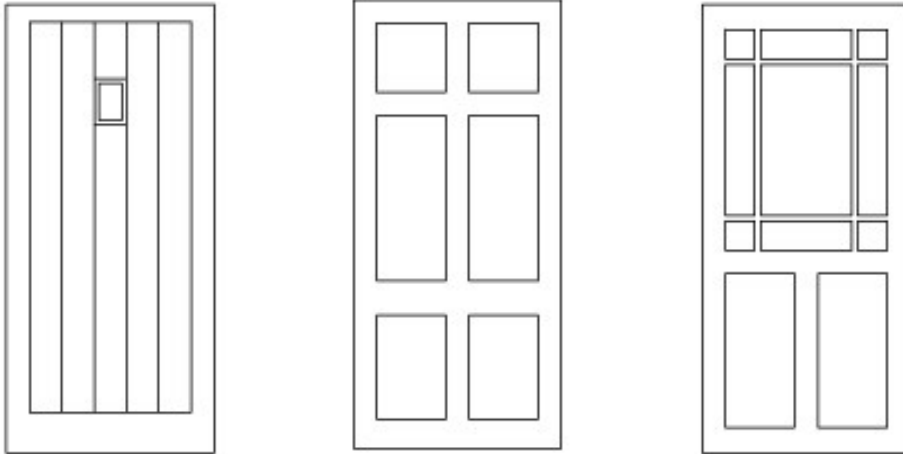
10. Doors and Porches

- 10.1 All doors have been designed to be in character with the properties to which they relate. There will be a presumption in favour of repairing, rather than replacing existing doors. This is particularly important where grouped houses are involved, with a uniform overall elevation. The replacement of even a single door, by an unsuitable or over-elaborate type, could mar the harmony of a group or street picture. Where extensions are involved, the doors should match, or be in harmony with the existing, particularly when publicly visible.
 - a. External doors shall be single or double, and of a pattern approved by the Regulator.
 - b. Varnish finished wood doors will **NOT** be allowed, even if authentically constructed i.e., all doors to be paint finished only.
 - c. Doors will be paint finished in BS 4800 colours i.e., Crown Trade (or similar) Black (OO E 53), White (OO E 55), Deco Red (04 D 45) (Beetle Green 14 C 39), Slate Grey (18 B 25), Gunmetal (18 B 29), Midnight Blue (20 C 40), or Ash (22 B 15).



UPVC timber, varnished hardwood or moulded metal doors, with incorrectly detailed panels, leaded light or fan inserts are **NOT** acceptable. Examples are shown in Fig 5.

Fig 5



Authentically detailed and painted doors include six panel types- the top two may be glazed, banded cottage doors with a glazed panel and half glazed types, with margin glazing. Examples are shown in fig 6.

Fig 6

10.2 Porches and door canopies have been designed as integral elements in each existing building and group. There will be a presumption in favour of retaining the existing, unless it can be conclusively demonstrated that a variation would enhance the building concerned, without disrupting the group or townscape harmony. The guidance on porches is also applicable to verandas and loggias.

- a. The addition of enclosed front porches to existing buildings will **NOT** be allowed.
- b. Projecting porches or door canopies shall not unless specifically permitted, extend into the pavement zone and must be of an appropriate traditional style.
- c. Columns, posts, piers and brackets shall be of hardwood or treated timber, stone, brick or cast-iron.
- d. Posts and brackets used on domestic buildings shall be painted.

11. Subsidiary Elements

11.1 Small features added to a building or placed within the gardens, can, if done without sufficient care or attention, mar the appearance of the building or its setting. Good design, or unobtrusive siting can often overcome problems.

- a. The following items are **NOT** permitted.

Bubble skylights, prefabricated accessory buildings, permanent plastic sunblind/awnings, plastic commercial fascias and lettering and internally illuminated fascias and signs.

- b. The following items shall **NOT** be located such that they will be visible from the street:

Clothes dryers, dustbins, rooftop solar collectors.

- c. No waste or soil pipes may be attached to the exterior of any house. Combined internal systems of drainage are to be used.

d. Ducting for future wiring of cable television system is taken into each property and this enables residents to separately arrange for cable television services (cable television services are currently available from Virgin). If at all possible and practical external television aerials should be avoided (for terrestrial only). Consideration will only be given to permitting external television aerials (for terrestrial only) when residents do not have arrangement with the cable television provider, and a signal for terrestrial can only be achieved by erecting an external television aerial (for terrestrial only). In such instances consideration should be given to its position in order to only minimally detract from the building and its surroundings. External satellite dishes are Not Permitted.

11.2 House numbers and street names are consistent in position and design so that they are readily identifiable, particularly by emergency services.

12. Walls, Fences and Gardens

12.1 The treatment of boundaries between individual properties, and between public and private properties is not an afterthought, but is integral to the overall design of Langtoun Maltings.

a. All boundary walls built with the intention of providing privacy between adjoining gardens and between gardens and public highways/access ways shall be no less than 1.8m high and rarely exceed 2.1 m high. Walls should be at least 215 mm thick.

b. Garden walls need not conform to the same type of construction as the buildings they adjoin, although a wall adjoining a more elaborately constructed building should itself reflect the quality of construction.

c. Masonry, brick built and rendered block garden walls shall be capped with a synthetic stone coping to match the overall development.

d. Wooden fences providing privacy shall be minimum 1800 mm high and of vertically lapped 120 x 20/10 mm feather edged boards on timber posts with three horizontal rails. Timber palisade fencing may only be used to separate adjacent domestic rear gardens. Woven panels of wooden fencing are **NOT** allowed. Open, stock proof fences on to farmland should be 1200 mm high and of three rails on timber posts. Boarded fences should be treated with Spencer Coatings Microflex Opaque Clear finish or Cuprinol Timbercare Woodland Green or similar.

e. Garden gates shall be built of painted or treated timber to a design approved by the Regulator.

f. Formal gardens shall be fenced off with iron railings on a low wall.

g. Existing trees will be planted to complement the urban character of the buildings and enclosed public and private outdoor spaces. Additional planting of appropriate indigenous species, should be preceded by arboricultural advice on height, rate of growth, spread of canopy and roots. Hedges should be of an appropriate indigenous species, and be trimmed regularly to avoid loss of light to neighbouring properties. Cupressus Leylandii, or similar fast growing species are **NOT** appropriate.

13. Lettering on Houses and Streets

HOUSE NAMES

The name you choose for your house at Langtoun Maltings will mark it for many years to come; it will enrich the town today and give sense of place for future generations.

POSITION

It is easy to imagine how quickly the attractive street Architecture would be spoiled if the house name were put up anywhere on the fronts of the houses in any size. House names at Langtoun Maltings should be contained within the 'frame' of the front door, the focal point of your house. Outside the 'frame' it could be confused with that of your neighbour.

YOUR HOUSE NAME

Your house name can be sign written onto your door or porch, but for easy maintenance an applied wooden panel is preferable. This can be cut and painted to the shape and colour of your choice and lettered by a signwriter using applied or printed lettering. There are also house name panels mechanically produced to a high standard of lettering in cast metal and moulded plastic.

HOUSE NAMES IN STONE OR SLATE

If you consider that your house name cannot be positioned within the 'frame' of your front door and you wish to mount a panel outside this area, then please apply to the Regulator Stone and slate signs must be carefully integrated with the architectural detail of the house. A stone slate or panel, if approved, will have to be inset (set into the stonework, brickwork or rendering of the wall). Only in exceptional circumstances will face fixing be permitted (the name panel standing proud of the wall surface).

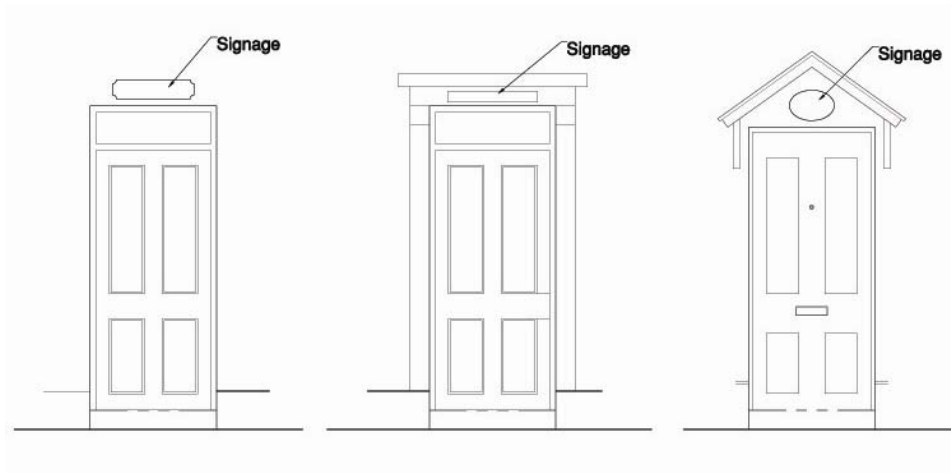


Fig 7

14. CHOOSING A LETTER STYLE

Variety in lettering will be enriching to Langtoun Maltings. Examples of house name panels are lettered in

- (1) Baskerville, the typeface used on Langtoun Maltings Street names and house numbers,
- (2) Trojan Roman capitals,
- (3) Rockwell Expanded,
- (4) and (5) Bembo italics,
- (6) Perpetua capitals and lower case, and
- (7) Garamond Capitals,

all suitable styles for the signwriter and the sign manufacturer.

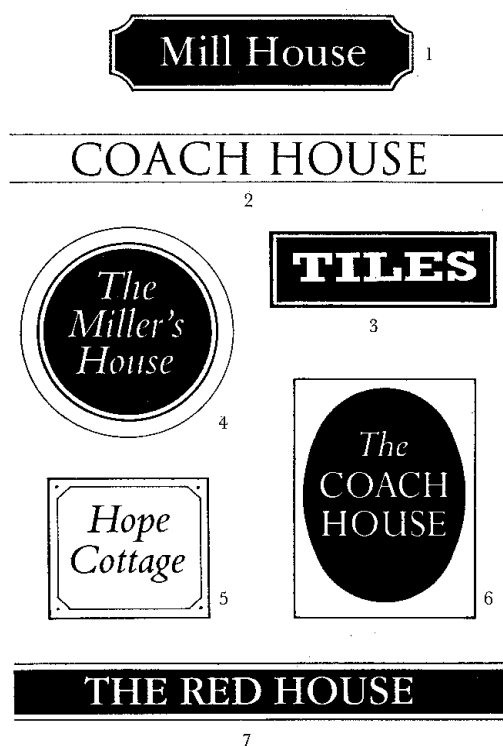


Fig 8

SIZE

You are asked to specify letters 4cm high maximum when ordering your house name. Letters of this height will be easily read across any street in Langtoun Maltings. The total area of your house name should not exceed 900 sq cm, the equivalent of a panel 1 ft square.

The constant position for all numbers is 15cm from the door frame and 1.5m above door sill.

The latitude in positioning numbers is 7cm in all directions. This is to allow for alignment with architectural detail. If the recommended position is obstructed by porch supports, the position is 15cm from the support.