

EVOLVING COVE

A UNIQUE CHOICE OF FLATS, HOUSES AND COMMERCIAL SPACE AT COVE WEST, COVE



CREATING CLASSIC, DESIRABLE NEIGHBOURHOODS IN COVE

How often have you seen a new development and thought, ‘Why on earth did they build it like that?’

At Scotia, we do things differently – starting off by asking local people what they think. Add in our expertise of creating true neighbourhoods, with built-in sustainability, and the results are truly stunning. And they’re inside...

INSPIRED BY THE PAST : BUILT FOR THE FUTURE





Planning that starts with **you!**

PLANNING IS USUALLY SOMETHING THAT'S 'DONE' TO A TOWN. SO WOULDN'T IT BE GREAT IF THE PEOPLE IN AN AREA COULD ACTUALLY HELP TO SHAPE ITS FUTURE?

That's exactly what we helped achieve through the collaborative planning process at Cove.

From initial workshops to discuss ideas, through to design and modelling sessions, the local community has led the way at every stage. And we made the process accessible too – we scheduled design and modelling sessions during the day and the evening. Everyone from retired residents to working parents could play their part. The result? We gain a true understanding of Cove to help us plan for its future – our planning applications are full of suggestions gathered by listening to you, the people of Cove. Assuming we get the go-ahead, you'll see these ideas taking shape over the coming years. What could be more collaborative than that?

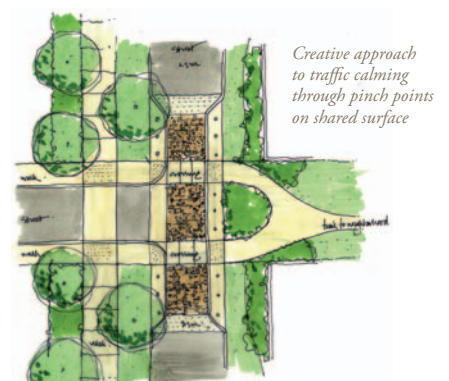


WHAT DID YOU HAVE TO SAY?

When we held our series of workshops, we asked you for your views and concerns. Below is a selection from the final consultation session:

- > The community requires new facilities for children. Sports Centre and community undercover areas. Please help us keep our children safe with enough facilities to keep them off the streets.
- > Make a bigger park!
- > As far as housing developments go, it looks quite nice
- > No more speed bumps – they wreck cars even at 1 mph!
- > Measures to stop the rat run are good, but the two existing north-south roads also need traffic calming
- > We are concerned that trees planted will be too small
- > How do you establish the new plantings? Vandalism and maintenance are also critical issues
- > Existing stream to be part of strategic landscaping (on both sides)
- > Sympathetic border to neighbouring houses and minimum overlooking of existing properties
- > Glad to see pedestrian link only through Loriston Green
- > Like the aesthetic feature of consumption dyke within park
- > The proposed classic, local high street, with a flexible mix of retail and office space, answers our request for more local services
- > We would like to see evidence of the planning gain – in the resurrection of the 'Sally Henderson Community Centre'

The Engagement Process





All images are for illustration purposes only

THE SCOTIA APPROACH

We create classic, desirable neighbourhoods which reflect the area's culture and traditions. All-in-all, it's about re-capturing some of the good things about design from the past – many of which have been forgotten over the last 40 years.

There's another important factor too – Scotland is committed to being far more sustainable than before, so issues such as traffic reduction are right at the top of the agenda.

Here are some of our guiding principles and how we are implementing them at Cove:

- > **'Walkable' communities** – ideally within a 10-minute walk of the main amenities. Pedestrians need to be given priority – foot and bicycle paths are abundant and they all link to the high street we created
- > **Connected spaces** – streets, lanes and intelligent planning to help you get around town. We want to banish the cul-de-sac – there are no dead ends – all streets and open spaces are linked
- > **Public places** – areas that form focal points in the town, allowing people to mix and relax – in addition to the high street there are plenty of interesting gathering places like the shelter at the entrance from Wellington Road, pictured left above
- > **Mixing it up** – housing needs to go hand-in-hand with commercial properties. We also like to mix private residences with affordable rented or shared ownership housing
- > **Visual variety** – we don't build rows and rows of anonymous houses. Instead, we prefer to mix housing types and design features
- > **Local first** – the designs, materials and layouts need to reflect the best of the existing area. Our buildings should blend seamlessly into the town – and never feel like a separate annexe

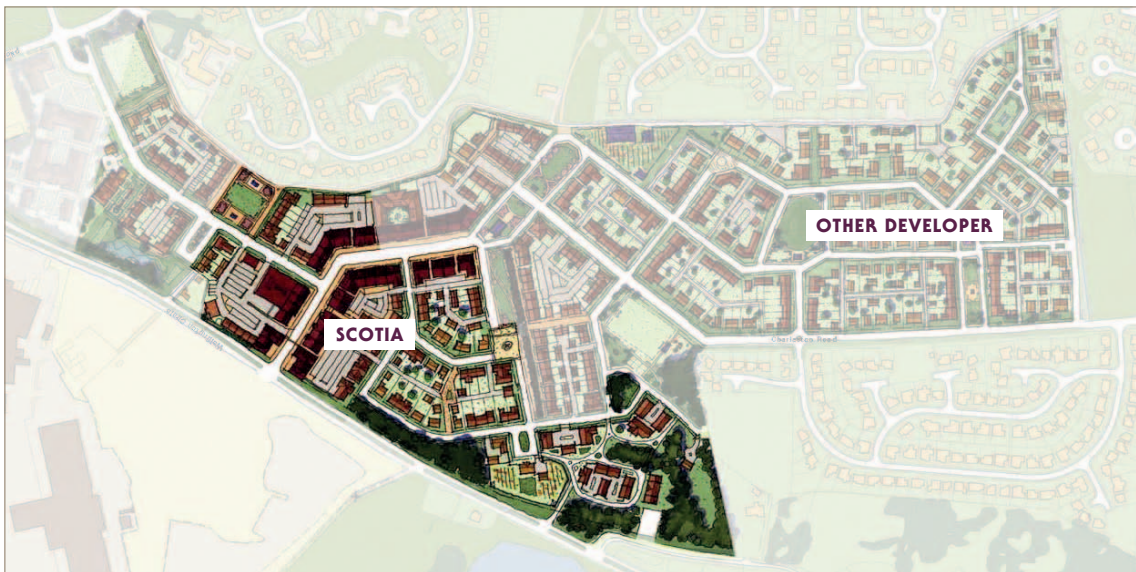


Examples of local architectural details



what next?

After many discussions with the current residents of Cove, the Council and various other stakeholders, at the initial scoping workshop in April 2008, the Enquiry by Design in May 2008, the site design workshop and first modelling workshop in September 2008 and the second modelling and plan refinement workshop in September 2010, we are now drawing together our planning submission. This will be submitted in December 2010 and we will keep you up-to-date on its progress...



Cove Master plan from the initial public engagement – to be finalised before submission, based on the feedback from the modelling workshop.

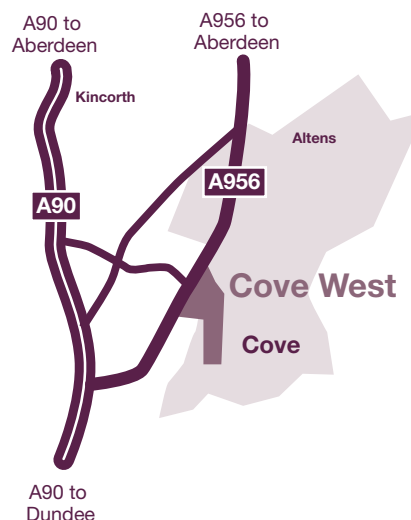
WHAT WILL IT LOOK LIKE?

These new streets and buildings will look like Cove. We'll be using architectural touches influenced by existing buildings, with a mix of styles and a sensitive approach to what's already there. This won't look like most suburban developments – it will simply be a new neighbourhood, with the same character and feel as the rest of the area.

Where's it happening?

Cove is situated four miles from Aberdeen city centre to the south of the city. It stretches from the A956 (Wellington Road) to the North-East coastline and is in easy commuter distance.

Our development will take place to the west of the existing Cove centre. However, it will be very much connected to it – with intelligent street design and public paths. The neighbourhood will also have its own core, rather than simply being presented as street after street.



Your Feedback



At Scotia, we never stop listening to your views, ideas and concerns. It's part of what makes us – and our homes – very different. So get in touch – we'd love to hear from you.

Contact Scotia below:
Email: info@scotia-homes.co.uk
Freephone: 0800 0855 455
www.scotia-homes.co.uk



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FREEPHONE: 0800 0855 455 WWW.SCOTIA-HOMES.CO.UK



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